



BUILDING INSPECTIONS DEPARTMENT

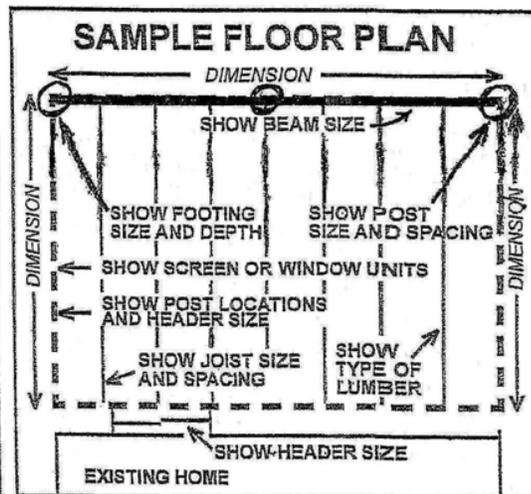
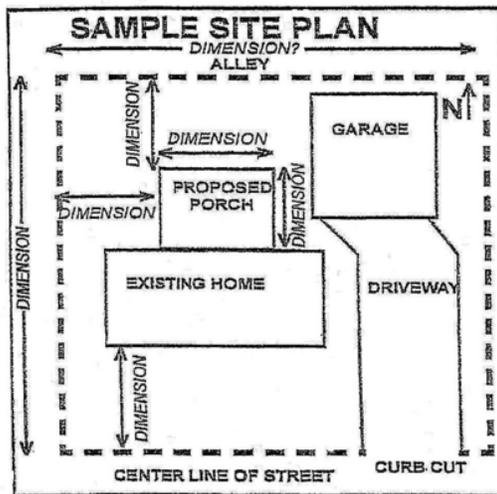
ADDITIONS, SCREENED PORCH OR THREE-SEASON PORCHES

1. Complete a building permit application form.
2. Enclose 2 site surveys showing the location of the addition or porch, dimension setbacks to property lines **and all existing and proposed structures.**
3. Submit 2 copies of the plans showing the proposed design and materials. Plans shall be drawn to scale and shall include the following:
 - A. A Floor Plan indicating the following:
 - Proposed addition or porch size
 - Foundation plan
 - Size and spacing of floor joists
 - Size and type of sub floor or decking
 - Size, location, and spacing of posts
 - Size of headers and beams
 - Size and spacing of roof rafters or engineered trusses
 - B. Cross Section of either a side view or a rear view indicating the following:
 - Size and depth of foundation and/or footings
 - Size of posts
 - Header size supporting floor joists
 - Floor joist size and spacing
 - Flooring material and insulation, if applicable.
 - Guards and handrails where applicable.
 - Ceiling height and attic space insulation / ventilation.
 - Wall type(s) of sheathing, siding material and insulation with R value.
 - Pitch and ventilation of roof
 - C. Elevations indicating the following:
 - Height of structure from established grade
 - Type of approved roof covering material
 - Size of windows and U values.
4. **City approved plans must be available at the job site at all times.**
5. Consult the building department for minimum setback requirements and restrictions specific to developments, lots and near bluffs.
6. Footings supporting existing decks may not be sized to support new roof loads.
7. Do not cantilever deck over the main beam if planning a future enclosure of the deck. Walls will only be allowed to be constructed over the foundation, not on cantilevers.
8. Brian Luce is the state electrical inspector for our area. Visit his website at www.brianluceinspections.com.

GENERAL BUILDING CODE REQUIREMENTS FOR ADDITIONS **(INCLUDING SCREEN, 3-SEASON AND 4-SEASON (ADDITIONS) PORCHES**

1. **Footings.** All additions and porches shall be supported by either a full foundation or pier footings dug to a minimum depth of 42". Footings will be sized according to loads proposed.
2. **Crawl Spaces.** Wood joists closer than 18 inches or wood girders when closer than 12 inches to exposed ground in crawl spaces or unexcavated areas within the building foundation must be pressure treated.
3. **Material.** All exterior construction members exposed to the weather shall be of approved wood of natural resistance to decay or treated wood.
4. **Girders in Masonry.** The ends of wood girders entering exterior masonry or concrete walls must maintain 1/2 inch clearance at top, sides and ends or must be of pressure treated wood.
5. **Ground Contact.** Posts, poles and columns supporting permanent structures that are embedded in concrete in direct contact with the ground or embedded in concrete exposed to the weather shall be approved pressure treated wood suitable for ground contact use.
6. **Roof Support.** Roof support must be supported directly onto a footing or foundation. Roof support beams at screen porches must be supported into the house foundation by cutting in the beam supporting the roof and posted in the exterior wall directly to the foundation or cutting in the floor beam. **A floor or deck ledger shall not support roof loads.**
7. **Guards.** Decks, balconies, and porches, which are more than 30 inches above the floor or grade below shall be protected by a guard not less than 36 inches in height. Open guard and stair railings shall have intermediate rails or an ornamental pattern such that a sphere 4 inches in diameter cannot pass through.
8. **Guards at Stairs.** Open sides of stairs with a total rise of more than 30 inches above the floor or grade below shall have guards not less than 34 inches in height measured vertically from the tread nosing. The triangular openings formed by the riser, tread and bottom rail of a guard at the open side of a stairway are permitted to be such a size that a 6 inch sphere cannot pass through. R312.
9. **Stairs.** If a stairway is to be provided it shall be not less than 36 inches in width. Stairways shall be constructed having a 7 -3/4" maximum rise and a 10" minimum run. Open risers are permitted but the opening must be less than 4 inches. R311.5.3.
10. **Handrails** shall be provided to all stairways having 4 or more risers. Handrails shall be placed not less than 34 inches and not more than 38 inches, measured vertically from the nosing of the treads. Ends shall be returned or terminate into newel posts or wall. The handgrip portion of a handrail shall have a cross sectional dimension of 1-1/4" minimum to 2-5/8" maximum and shall be continuous the full length of the stairway. R311.5.6.
11. **Landings at Doors.** A floor or landing is required on each side of all exterior doors. The floor or landing shall not be more than 1.5 inches lower than the top of the threshold. The landing may be a maximum of 7 3/4 inches below the top of the threshold, provided that the door does not swing over the landing. R311.4.3.
12. **Installation of Materials.** Approved wall sheathing, siding, roof sheathing, and roof coverings must be installed according to the manufactures specifications.

13. **Ice and Water Barrier.** Ice and water barrier is required on all roofs. The barrier must consist of two layers of 15# felt solidly mopped together or one layer of a self-adhering polymer modified bitumen sheet and extend from the eaves edge to a point 24 inches inside the exterior wall.
14. **Ventilation.** Enclosed attics and enclosed rafter spaces must be provided with ventilation equivalent to 1/1300th of the attic area, equally distributed between soffit vents and roof vents.
15. **Weather Resistive Barrier.** A weather resistive barrier is required under all exterior finishes. The barrier shall consist of a minimum one layer of No. 15 asphalt felt or other approved weather- resistive material.
16. **Flashing.** An approved corrosion- resistant flashing shall be provided to prevent the entry of water into the wall cavity or penetration .of water to the building structural framing components. Flashing shall be installed at the top of all exterior window and door openings, continuously above all projecting wood trim, where exterior porches and decks attach to a wall, and where exterior material meets in other than a vertical line. R703.8.
17. **Smoke Alarms.** All additions require the updating of smoke alarms in the entire dwelling to meet the current code requirements. The required locations are hallways giving access to sleeping areas, each sleeping area and one on each level. Smoke alarms installed in new construction must be hard wired, existing areas may be battery powered.



SITE, FLOOR and ELEVATION PLANS

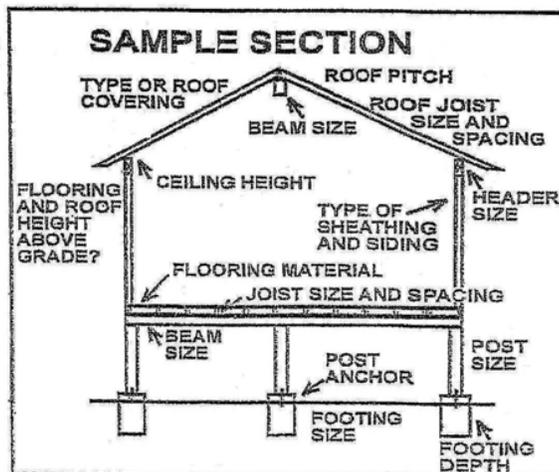
Submit 2 copies of each. All drawings must be drawn to scale

FLOOR PLANS MUST INCLUDE THE FOLLOWING

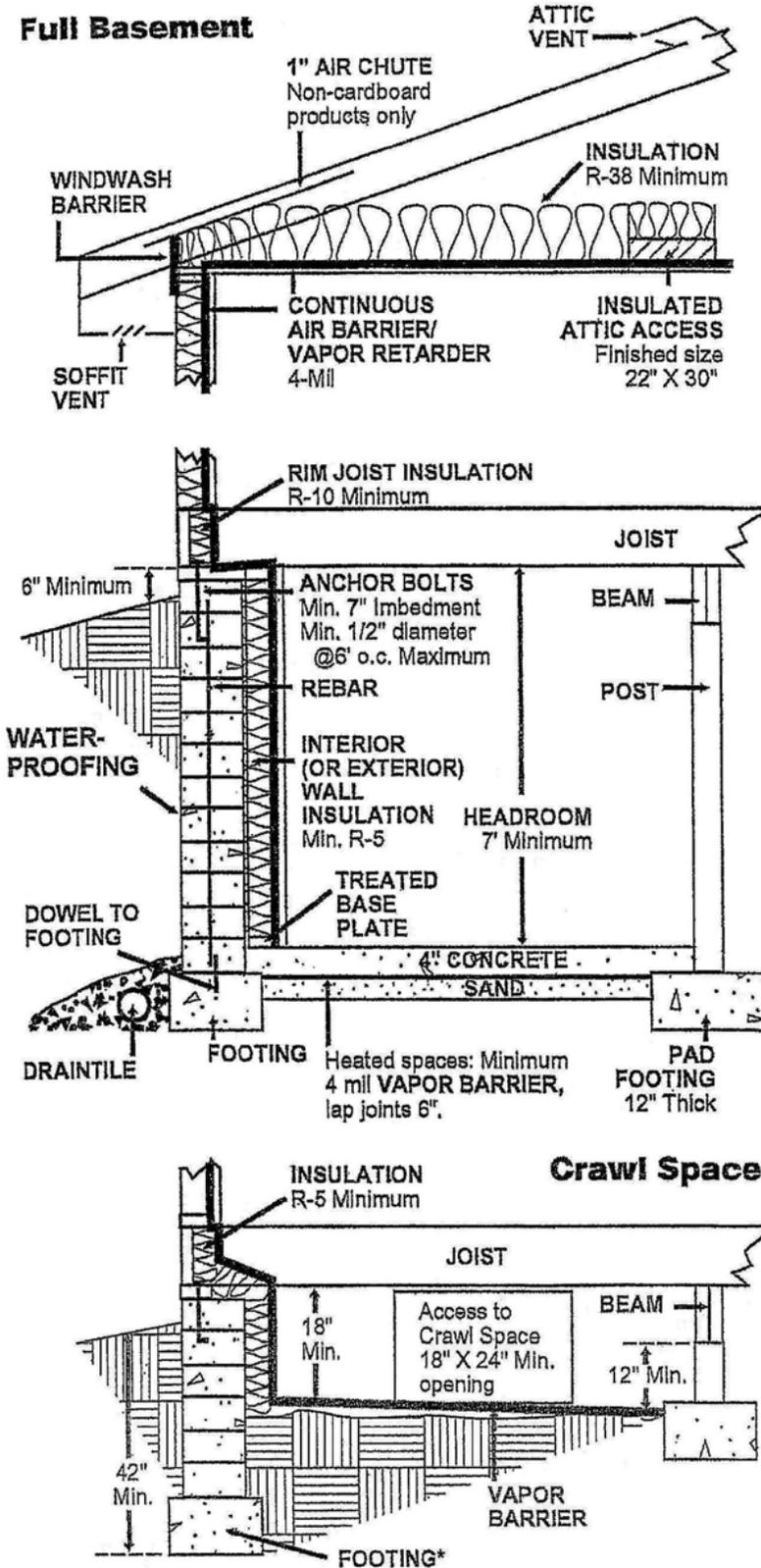
1. Proposed size of porch or addition.
2. Location and size of pier footings or foundation.
3. Size and spacing of floor joist.
4. Size of subfloor or decking.
5. Size, location and spacing of posts.
6. Size of headers and beams.
7. Size and spacing of rafters or trusses.

SECTION PLAN

1. Size and depth of foundation and/or footings
2. Size and spacing of posts, floor joist and roof framing.
3. Guardrail height and spacing. (if any)
4. Stair rise/run and handrail height. (if any)



Full Basement



Required Inspections

(All may not apply)

Footings. When footing is excavated and formed and reinforcement (per plan) is in place but before concrete is poured.

Foundation Wall Reinforcing. When required per IRC Tables or engineering, before concrete or grout is poured.

Foundation Prebackfill Inspection. To verify waterproofing, exterior drainage system and insulation before backfilling.

Rough-in. For any heating, plumbing and electrical work that is involved.

Under Floor Frame and Concrete Slab. Floor framing over crawl spaces and poly under basement concrete floors before covering.

Framing. When all framing is complete and rough-ins are approved, but before insulating.

Insulation. When all wall insulation is in place and ceiling and wall vapor barriers are in place.

Final Plumbing, Heating and Electrical. These inspections must be approved before building final inspection.

Building Final. When all work is complete and before occupancy.

CALL 952-448-5353 TO SCHEDULE AN INSPECTION. PLEASE HAVE YOUR PERMIT NUMBER READY.