



BUILDING INSPECTIONS DEPARTMENT

Accessory Buildings and Garages Information Guide

Definitions

Accessory Building (Shed) – A subordinate building 1-story, the use of which is incidental and customary to that of the principle structure, and which is not used or designated as a garage.

Garage (residential private) – A building or portion of a building used by the tenants of the building on the premises which is designated primarily for the storage of motor vehicles.

Gazebo – A detached accessory building which is used for social or recreational shelter of persons, but not as living quarters.

Building Permit / Zoning Requirements

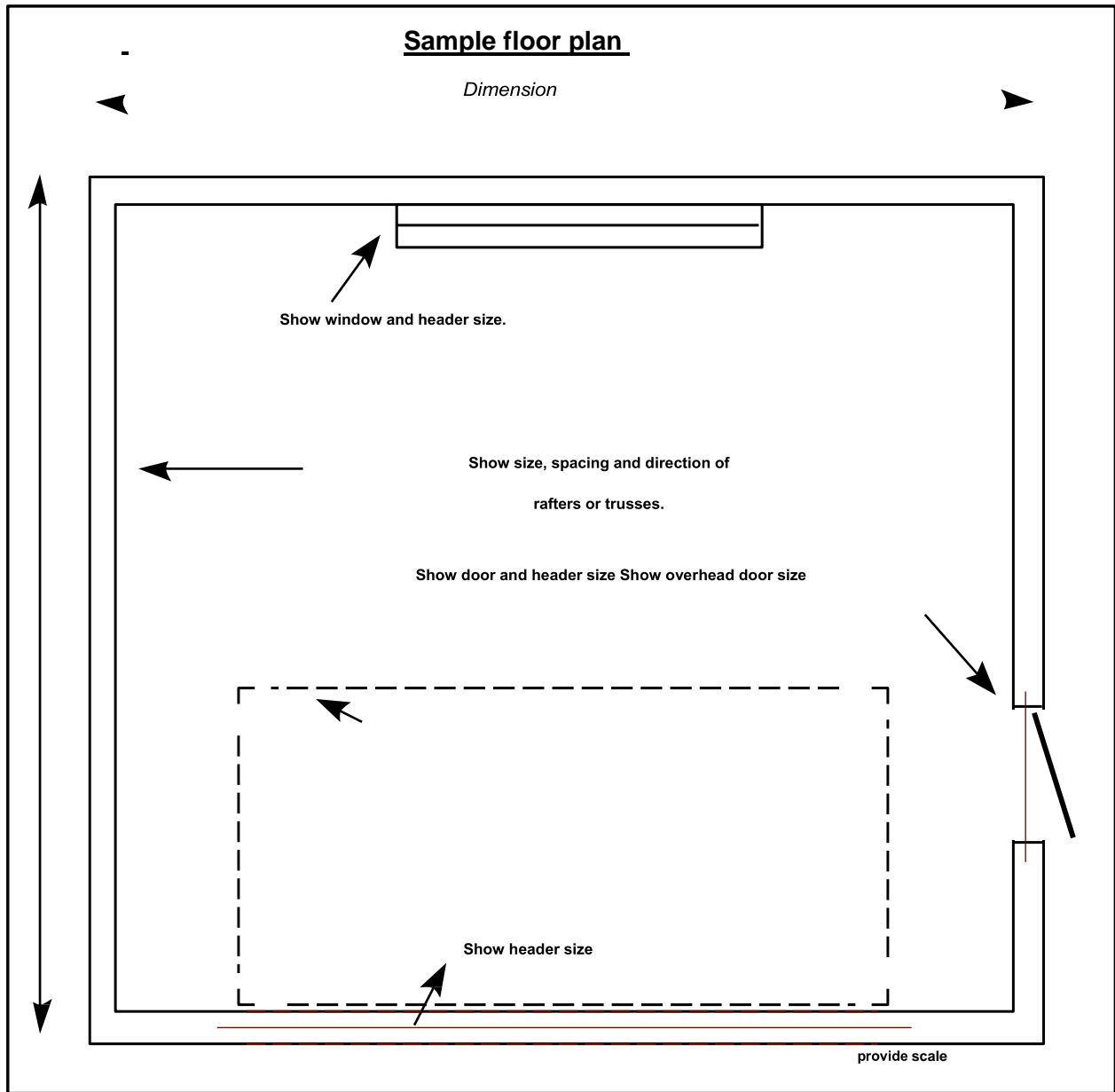
- Building permits are not required for any accessory structure 200 square feet or less, but a Zoning permit is required with owners still responsible to comply with all zoning regulations.
- Accessory structures are limited by city code to an **aggregate** of 800 square feet maximum and two accessory structures maximum on any lot. The maximum allowed height of any accessory structure is 17 feet.
- If property is located in the Historic District, call to speak with the Building Department for additional information.
- No structures are allowed on or in easements.
- Building permit applications must be completed, submitted with plans showing dimensions and a description of all proposed construction materials.
- A survey or site plan must accompany the building permit plans and application. The following must be indicated:
 1. Lot size and all adjacent public streets.
 2. Exact location and dimensions of all existing structures and proposed accessory buildings.
 3. Owner / contractor must be able to show property irons/pins on site to the satisfaction of city inspector. Note: check your property file at city hall for surveys and or site plans when planning your project. Surveys submitted from any previous project are kept in the city files.

General Building Requirements

- **Footings** – In general, footings of some kind are required on buildings requiring a building permit. On small sheds and similar structures an anchoring system consisting of **approved tie downs** is required and the tie downs would be required on each corner of the structure and per the manufacturers' installation instructions.
- Footings for detached building such as garages can be constructed on floating slab with the footing and slab poured monolithically (see attached cross section).
- Footings attached to the primary structure are required to be frost footings with a positive connection to the primary structure and 42" minimum depth.
- Footings for gazebos and similar structures attached to the primary structure may be constructed on pier footings, but still would be required to be extended down to frost depth (Minimum 42").
- **Framing** – Base plates in contact with concrete shall be of approved treated lumber.
- Hand framed rafter dimensions/lengths must be approved by the building department at **plan review before construction begins**.
- **Anchor bolts** must be embedded into concrete a minimum of 7". There must be at least two anchor bolts in each piece of bottom plate and spaced no more than 6' on center. There shall be an anchor bolt installed within 12" of each end at splices in bottom plates.
- **Flashing** is required over all exterior openings.
- Buildings with ceiling finishes are required to be **ventilated**. When evenly distributed between soffit vents and roof vents, the total area of openings must be at least 1/300th of the total attic area.
- **Fire Protection** is required between living areas of homes with attached garages. A 5/8ths inch type X gypsum (minimum) is required on any garage ceiling with living space above and the walls supporting the trusses/rafters shall be covered with a minimum ½ inch drywall when walls are framed at 16 inches on center and 5/8 inch drywall when walls are framed at 24 inches on center. A fire rated door with at least a 20 minute fire rating is required between attached garages and living space. Walls separating the garage and living space shall be separated by at least ½ inch drywall installed on the garage side of those walls.
- **Other Permits** – Separate permits are required for any heating, plumbing and / or electrical work being done. The state electrical inspector assigned to our area is Mr. Brian Luce, contact him for permits and electrical inspections [7:00am to 8:30am – 952.233.8988 | www.brianluceinspections.com | inspecbluce@gmail.com].
- **Inspections** – Required inspections will be outlined on your permit card and / or the approved plans. It is the responsibility of the permit applicant to call and schedule all inspections before work proceeds. Call 952-448-5353 to schedule all inspections. You will be asked for a permit number and project address when calling to schedule an inspection. Approved plans must be on site for all inspections or the inspection will need to be rescheduled.

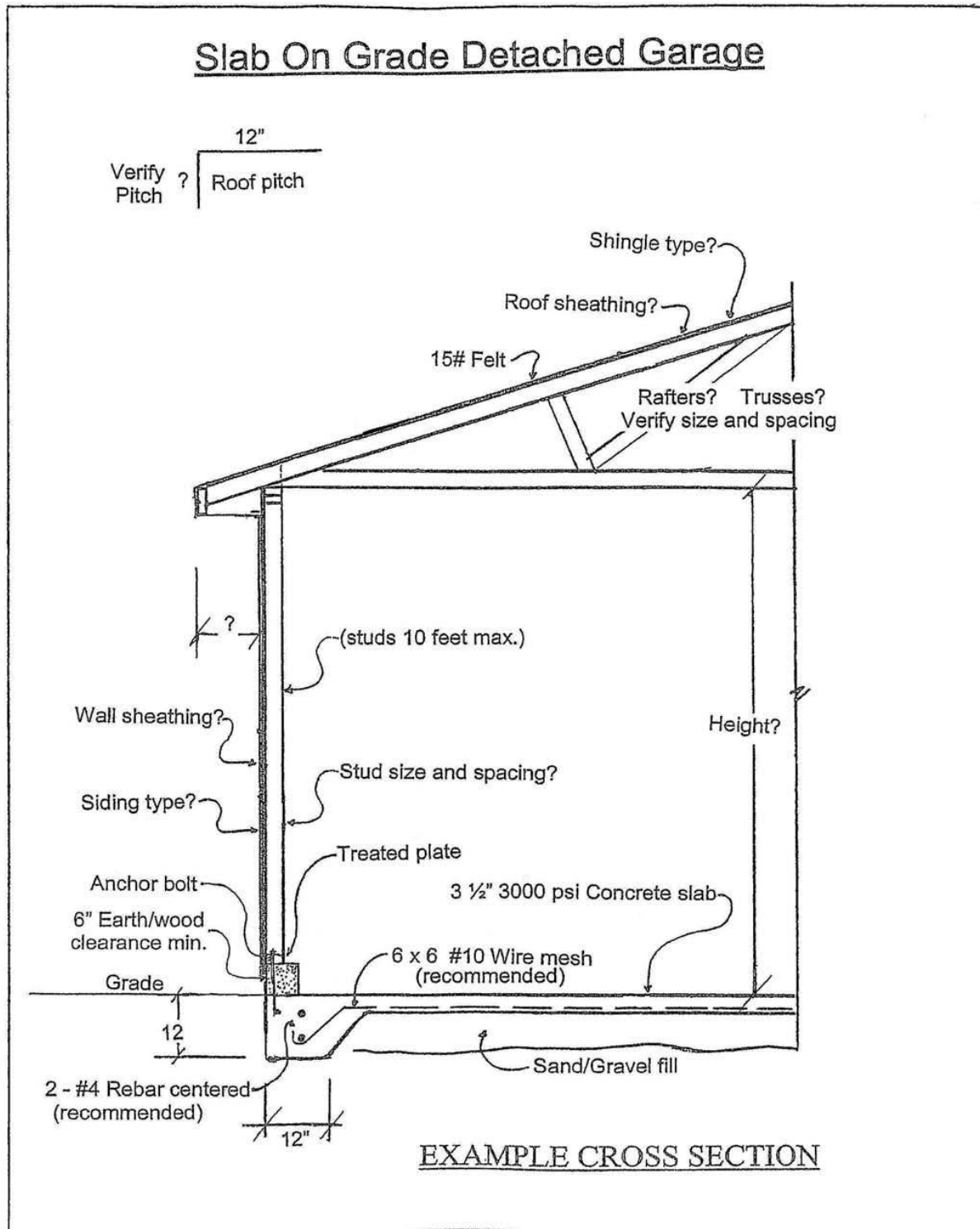
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Example Detached Garage Floor Plan



Note: Suggested minimum overhead door header sizes, (24' x 24' garage with 2 foot overhangs)

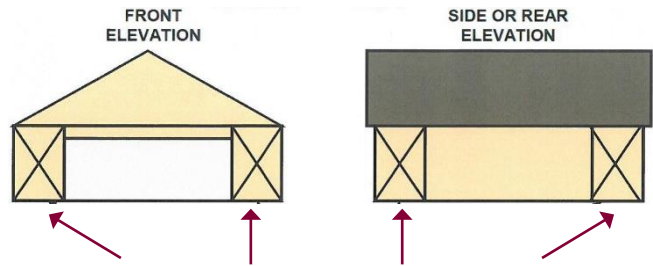
Full roof load 16ft. door	2 – 1 ¾" x 14" LVL
Full roof load 8ft. door	2 -1 ¾" x 9 ½" LVL
No roof load 16ft. or 8ft. door	2 – 2" x 12" SPF



Wall Bracing

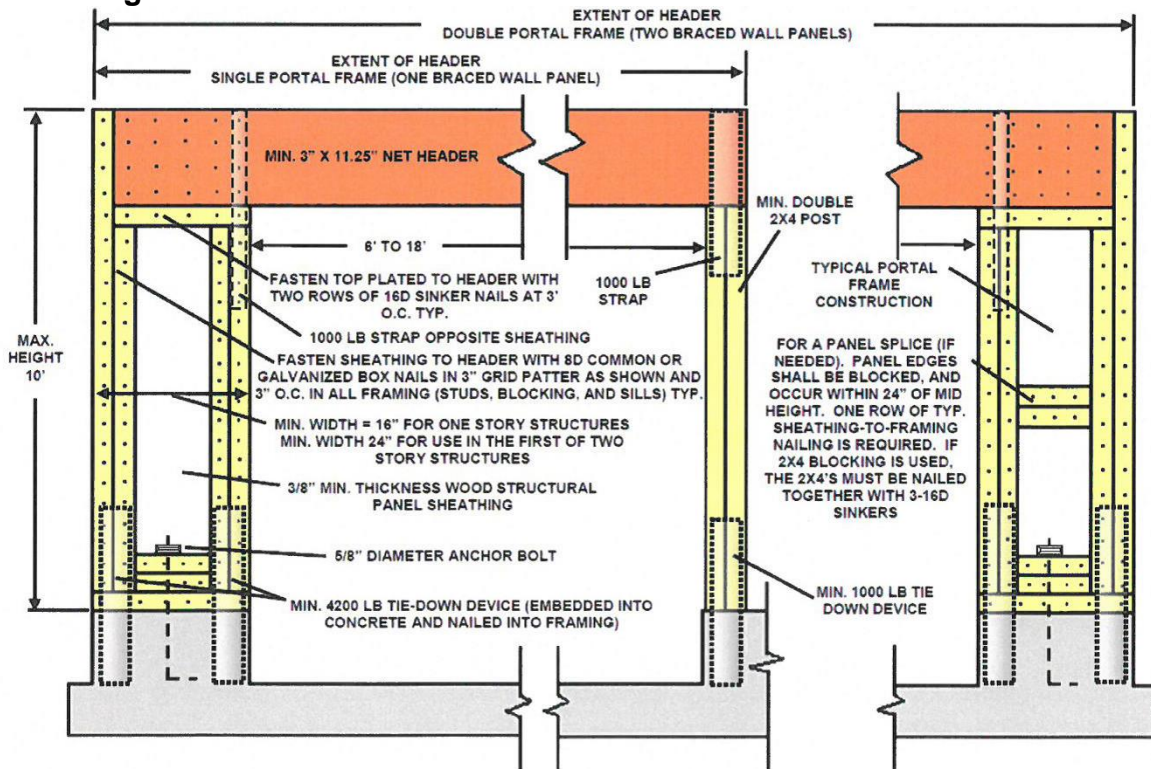
Walls are required to be braced by one of the following methods:

- Nominal 1x4 continuous diagonal braces to the top and bottom plates and the intervening studs or approved metal straps installed in accordance with the manufacture’s specifications. Braces must be installed at an angle not to exceed 60 degrees or less than 45 degrees.
- Wood structural panel sheathing not less than 5/16 inch for 16-inch stud spacing and not less than 3/8 inch for 24-inch stud spacing. Sheathing must be attached with a minimum of 6d nails at 12 inches on center.
- ½ inch fiberboard sheathing applied vertically on studs spaced 16 inches on center. Sheathing must be attached with 1 ½ inch galvanized roofing nails, 6d common nails, or 16 ga 1 ½ inch staples spaced 3 inches on center around the perimeter and 6 inches on center on intermediate studs.



4 ft x 8ft 5/16" (16" o.c.) or 3/8" (24" o.c.) wood structural panels or 1/2" structural fiberboard sheathing or let-in bracing

Wall Bracing for Narrow Walls:



ALTERNATE BRACED WALL PANEL ADJACENT TO A DOOR OR WINDOW OPENING